CITY OF FAIRBANKS
PARKING GARAGE REPAIRS
FAIRBANKS, ALASKA

PROJECT TEAM

OWNERS REPRESENTATIVE
CITY OF FAIRBANKS
POINT OF CONTACT: TIMOTHY ZINZA
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DESIGNERS REPRESENTATIVE
DESIGN ALASKA
POINT OF CONTACT: PATRICK BRANDON
601 COLLEGE ROAD, FAIRBANKS, AK 99701
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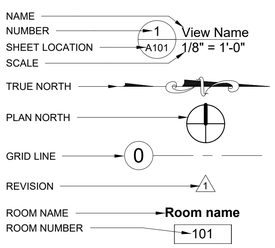
GENERAL SYMBOLS

SEE DISCIPLINES FOR SPECIFIC SYMBOLS



ALASKA MAP

VICINITY MAP

Design Alaska
Architects · Engineers · Surveyors
601 College Road Fairbanks AK 99701
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CITY OF FAIRBANKS PARKING GARAGE REPAIRS

ISSUE DATE	26 FEB 2021
COMM. NUMBER	202001
DESIGNED BY	SMM
DRAWN BY	SMM
SCALE	0" 1"

GENERAL INFORMATION

G001

2/26/2021 9:51:46 AM

GENERAL STRUCTURAL NOTES

A. DESIGN CRITERIA
1. BUILDING CODE..... 2015 IBC (INTERNATIONAL BUILDING CODE)
   GOVERNING JURISDICTION..... CITY OF FAIRBANKS
2. LIVE LOADS
   MINIMUM FLOOR LIVE LOAD ..... 40 PSF
   VEHICLE BARRIER SYSTEM ..... 6000 LB HORIZONTAL CONCENTRATED

B. STRUCTURAL STEEL
1. ANGLES, PLATES, AND CHANNELS SHALL BE ASTM A36 (Fy = 36 KSI).
2. ALL STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL.
3. BOLTED CONNECTIONS SHALL BE ACCOMPLISHED WITH HIGH-STRENGTH BOLTS CONFORMING TO ASTM A325 IN STANDARD HOLES UNLESS NOTED OTHERWISE.
4. ALL BOLTED CONNECTIONS SHALL BE PRE-TENSIONED UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH REGARD TO TEMPERATURE DIFFERENTIALS.
6. WELDING SHALL BE PERFORMED WITH E70XX ELECTRODES. WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO THE AWS D1.1 STRUCTURAL WELDING CODE-STEEL, LATEST EDITION. ALL WELDS ARE INTENDED TO BE CONTINUOUS UNLESS NOTED OTHERWISE.
7. FIELD WELDS NOTED THROUGHOUT THE CONTRACT DOCUMENTS ARE ACCEPTABLE LOCATIONS FOR FIELD WELDING AT THE CONTRACTOR'S OPTION. FIELD WELDS MAY BE PERFORMED IN THE SHOP.

C. POST-INSTALLED ANCHORS
POST-INSTALLED ANCHORS SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

CONCRETE
SCREW ANCHORS
- INTERIOR: HILTI KH-EZ OR SIMPSON TITEN HD
- EXTERIOR: SIMPSON TITEN HD, 316 STAINLESS

1. INSTALL POST-INSTALLED ANCHORS ONLY AS INDICATED ON THE DRAWINGS OR WITH SPECIFIC WRITTEN APPROVAL OF THE ENGINEER PRIOR TO INSTALLATION.
2. THE CONTRACTOR MAY NOT USE SUBSTITUTES FOR THE POST-INSTALLED ANCHORS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
3. SEE DRAWINGS FOR ANCHOR TYPE, SIZE, AND EMBEDMENT DEPTHS. INSTALL ANCHORS AS OUTLINED IN MANUFACTURER'S SPECIFICATIONS AND ICC REPORTS. UTILIZE PROPER DRILL TYPE, BIT SIZE, AND HOLE CLEANING, DRIVING OR TIGHTENING TECHNIQUES, UNLESS NOTED OTHERWISE.

D. MASONRY
1. MASONRY MORTAR TO BE TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH PER ASTM C270.

E. GENERAL
1. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS TO MATCH NEW CONSTRUCTION TO EXISTING CONSTRUCTION.
2. THE STRUCTURAL CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OR SEQUENCE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO: BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES FOR PROCEDURE OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO (NOR SHALL OBSERVATION VISITS TO THE SITE INCLUDE INSPECTION OF THESE ITEMS.)
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SCAFFOLDING, BRACING AND SHORING.
4. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD.
5. DO NOT USE SCALED DIMENSIONS TAKEN FROM STRUCTURAL DRAWINGS. CONTACT STRUCTURAL ENGINEER IF DIMENSIONAL INFORMATION IS MISSING.
6. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF ALASKA.

SPECIAL INSPECTIONS

THE FOLLOWING STRUCTURAL ITEMS REQUIRE SPECIAL INSPECTION PER IBC SECTIONS 1704-1707.
SEE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR INSPECTION AND TESTING THAT ARE NOT PART OF SPECIAL INSPECTIONS.

CONTINUOUS: SPECIAL INSPECTION BY THE SPECIAL INSPECTOR WHO IS PRESENT WHEN AND WHERE THE WORK TO BE INSPECTED IS BEING PERFORMED.

PERIODIC: SPECIAL INSPECTION BY THE SPECIAL INSPECTOR WHO IS INTERMITTENTLY PRESENT WHERE THE WORK TO BE INSPECTED HAS BEEN OR IS BEING PERFORMED.

SYSTEM or MATERIAL	INSPECTION				REMARKS
	IBC CODE REFERENCE	CODE or STANDARD REFERENCE	FREQUENCY		
			CONTINUOUS	PERIODIC	
DIVISION #03 - CONCRETE					
CONCRETE					
INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE	TABLE 1705.3			X	SPECIAL INSPECTIONS APPLY TO ANCHOR PRODUCT NAME, TYPE, AND DIMENSIONS, HOLE DIMENSIONS, COMPLIANCE WITH DRILL BIT REQUIREMENTS, CLEANLINESS OF THE HOLE AND ANCHOR, ADHESIVE EXPIRATION DATE, ANCHOR/ADHESIVE INSTALLATION, ANCHOR EMBEDMENT, AND TIGHTENING TORQUE. INSPECTION FREQUENCY PER MANUFACTURER'S REQUIREMENTS BUT NOT LESS THAN 10% OF EACH ANCHOR, DOWEL, OR ADHESIVE TYPE
DIVISION #05 - METALS					
FABRICATORS					
FABRICATORS	1704.2.5 1704.2.5.1			X	SPECIAL INSPECTION IS REQUIRED FOR STRUCTURAL LOAD-BEARING MEMBERS AND ASSEMBLIES FABRICATED ON THE PREMISES OF A FABRICATOR'S SHOP NOTE: SPECIAL INSPECTION IS NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION
STEEL					
SINGLE PASS FILLET WELDS LESS THAN OR EQUAL TO 5/16"	1705.2.1 TABLE 1705.3	AWS D1.1 AISC 360 J2.2		X	ALL WELDS VISUALLY INSPECTED PER AWS D1.1 6.9 EXCEPTION: SPECIAL INSPECTION OF RAILING SYSTEMS COMPOSED OF STRUCTURAL STEEL ELEMENTS SHALL BE LIMITED TO WELDING INSPECTION OF WELDS AT THE BASE OF CANTILEVERED RAIL POSTS (1705.2.1)

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STRUCTURAL GENERAL NOTES

S001

GENERAL NOTES

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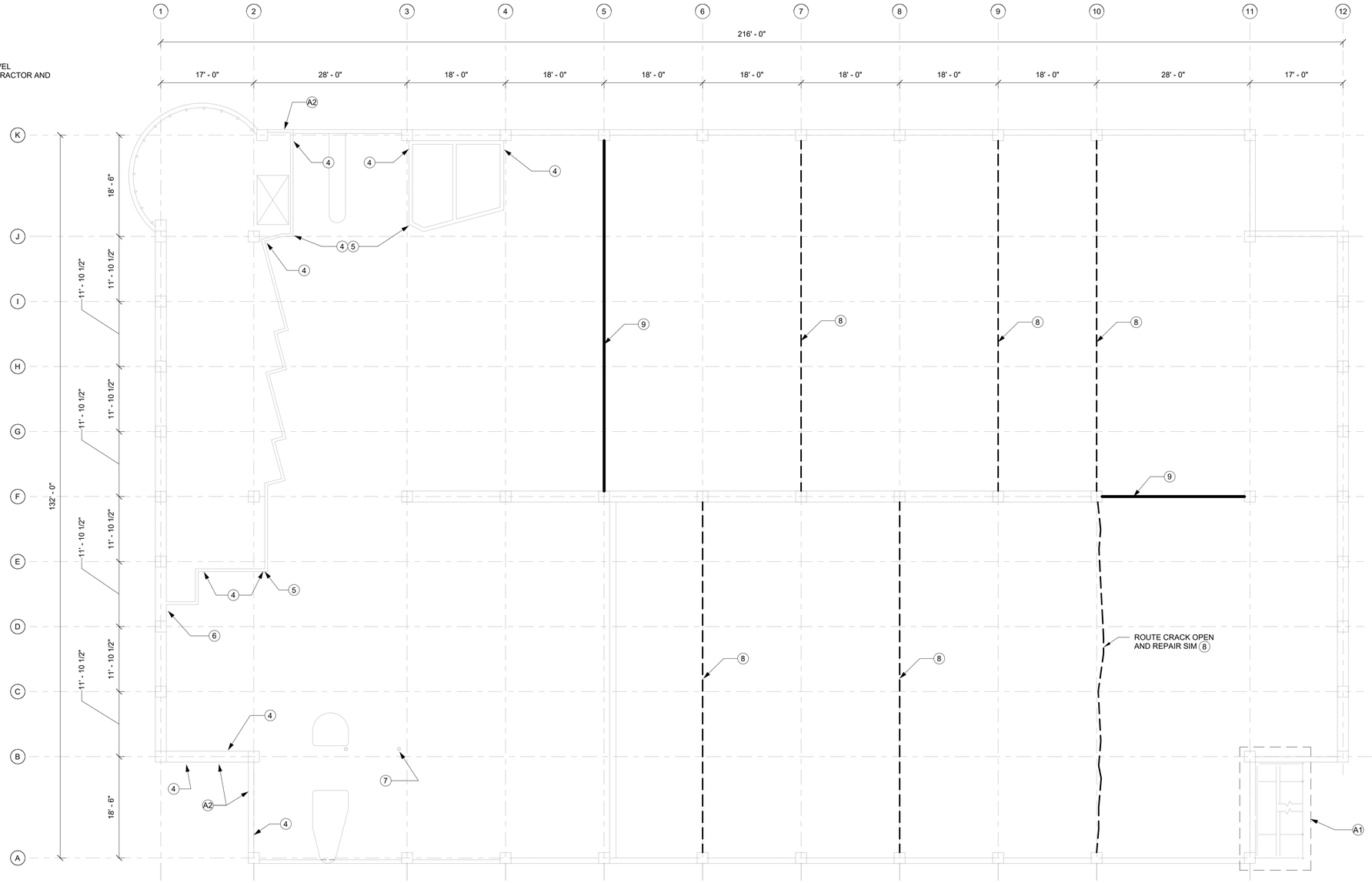
2. QUANTITIES OF REPAIRS TO BE VERIFIED BY CONTRACTOR AND COR PRIOR TO STARTING WORK



1 S101 FOUNDATION/SLAB PLAN
3/32" = 1'-0"

REPAIR PLAN KEYNOTES

BASE BID:

1. REPAIR SPANDREL BEAM AND SURROUNDING SLAB PER 1/S301 3/S301.
   PAINT NEW FABRICATIONS PER SPECIFICATION 07 92 00.
2. APPLY WATERPROOF TRAFFIC RATED COATING TO SUSPENDED SLAB POUR STRIPS. REMOVE EXISTING ELASTOMERIC SEALANT AT JOINTS. PREPARE THE SURFACE AND THE JOINTS BETWEEN POST-TENSIONED SLAB AND POUR STRIP PER SPECIFICATION 07 18 16. COAT FULL LENGTH OF POUR STRIP AND 1'-0" BEYOND WIDTH OF POUR STRIP EITHER SIDE PER MANUFACTURER INSTRUCTIONS. RESTRIPE PARKING STALLS AND TRAFFIC PATTERN INDICATORS AFFECTED BY REPAIR. CLEAN RUST STAINING ON UNDERSIDE OF SLAB AT POUR STRIP JOINTS. BASIS OF DESIGN IS SIKALASTIC-720 ONE SHOT.
3. SEAL CRACKS ON THE TRAFFIC SURFACE OF THE SLAB WITH HIGH MODULUS, LOW VISCOSITY EPOXY CRACK INJECTION. PREPARE CRACK AND APPLY EPOXY PER MANUFACTURER INSTRUCTIONS. CLEAN RUST STAINING FROM THE UNDERSIDE OF THE SLAB. BASIS OF DESIGN IS SIKADUR-35 HI-MOD LV (CRACK REPAIR) AND SIKADUR-31 HI-MOD GEL (PORT AND CRACK SEALER). LENGTH OF CRACKS TO BE SEALED: 300 FT
4. REPAIR CRACKS IN FACE AND JOINTS OF INTERIOR CMU WALLS:
   A. REPOINT CRACKED MORTAR JOINTS PER 5/S301
      LENGTH OF JOINT TO BE REPOINTED: 80 FT
   B. CMU CRACK REPAIR
      1. HAIRLINE CRACKS LESS THAN 1/32" IN SPLIT FACE BLOCK AND BURNISHED CMU NEED NOT BE REPAIRED
      2. SPLIT FACE CMU CRACKING 1/32" TO 1/4": SIKAFLEX-15 LM
      3. BURNISHED CMU CRACKING
         A. NARROW (1/32" TO 1/16"): CLEAR POLYURETHANE SEALANT
         B. WIDE (1/16" TO 1/4"): SIKAFLEX-15 LM
      4. LF OF SPLIT FACE CRACKING: 45 FT
         LF OF NARROW BURNISHED CMU CRACKING: 10 FT
         LF OF WIDE BURNISHED CMU CRACKING: 5 FT
5. REINFORCE CMU AT CRACKED WALL CORNERS WITH HELICAL MASONRY TIE BENT TO MATCH CORNER ANGLE AND EMBEDDED INTO MORTAR JOINT PER 6/S301
   LENGTH OF MASONRY TIE REINFORCING: 45 FT
6. REMOVE BROKEN CMU FACE SHELL AND RECAST WITH COLOR MATCHED MORTAR
7. REMOVE SPALLED CONCRETE AROUND HSS CONNECTION TO SOUND MATERIAL. COAT PREPARED CONCRETE SURFACE AND EXISTING ANCHOR WITH BONDING PRIMER OR SCRUB COAT OF REPAIR MORTAR, AS REQUIRED BY MANUFACTURER. REPAIR CONCRETE WITH NON-EPOXY BASED REPAIR MORTAR. PRODUCTS USED SHALL BE RATED FOR OVERHEAD APPLICATIONS. APPLY PER MANUFACTURER'S INSTRUCTIONS. BASIS OF DESIGN IS SIKATOP-123 PLUS
8. REPAIR CONTROL JOINTS PER 4/S301
   TOTAL NUMBER OF DIAMOND-SHAPED SPALLS TO BE REPAIRED: 100 SPALLS
   TOTAL LENGTH OF CONTROL JOINTS TO BE REPAIRED: 330 FT
9. REPLACE (E) EXPANSION JOINT SEALANT WITH SIKAFLEX-1C SL OR APPROVED EQUAL, FULL LENGTH OF JOINT

ALTERNATE #1:

A1. RECOAT STAIRWELL, ENCLOSURE AT GROUND LEVEL, AND SUPPORTING COLUMNS AS FOLLOWS:
   A. STRIP FLAKING PAINT AND RECOAT ALL PAINTED STAIRWELL SURFACES PER SPECIFICATION 09 96 00.
   B. ABRADE CORRODED GALVANIZED CONNECTIONS AND COMPONENTS. RECOAT PER SPECIFICATION 09 96 00.

ALTERNATE #2:

A2. REPOINT CRACKED MORTAR JOINTS IN EXTERIOR CMU WALLS PER 5/S301
   LENGTH OF JOINT TO BE REPOINTED: 500 FT

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1ST FLOOR REPAIR PLAN

S101

2/26/2021 7:57:03 AM

GENERAL NOTES

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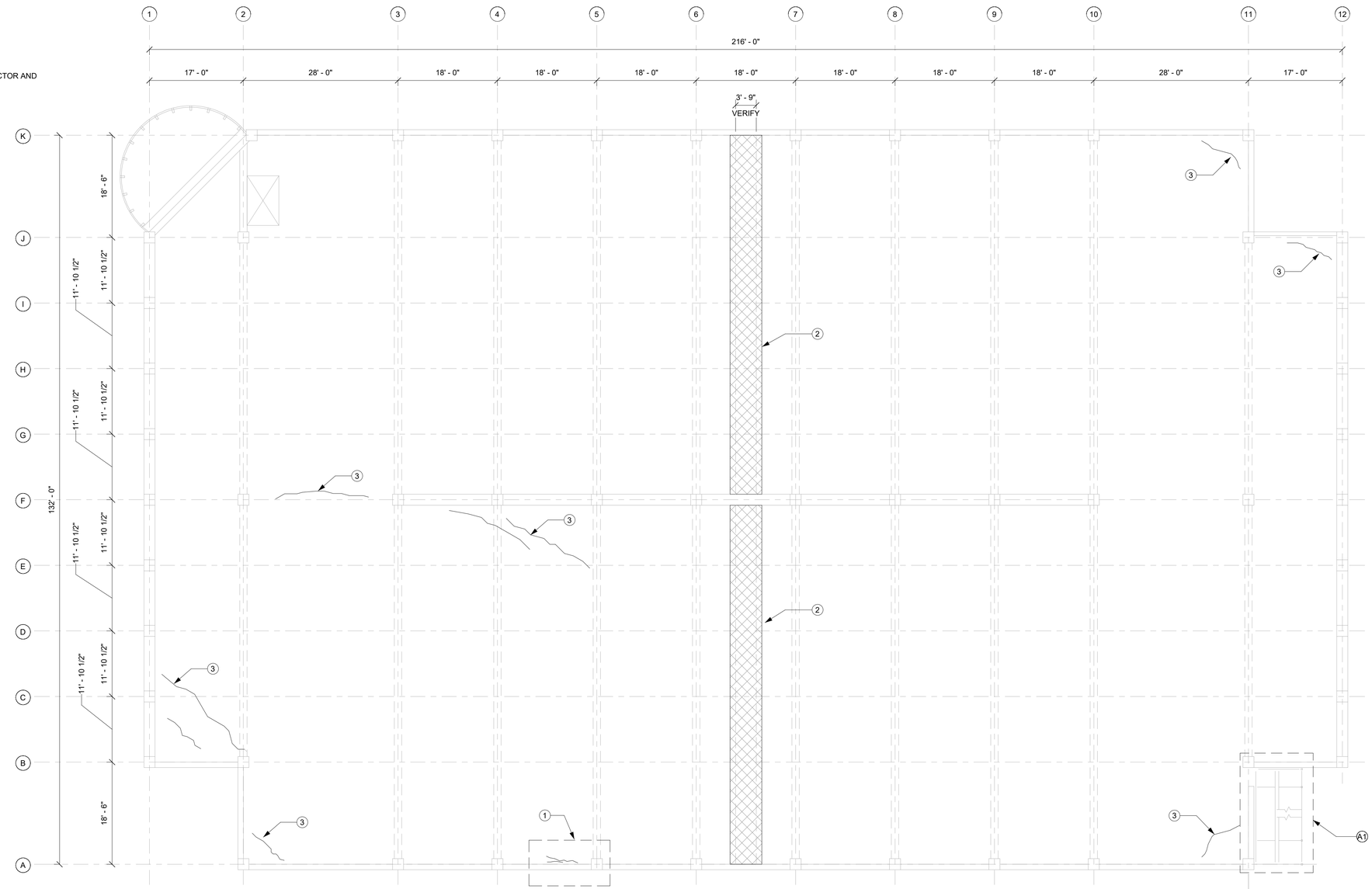

1 / S102 2ND FLOOR REPAIR PLAN
3/32" = 1'-0"

REPAIR PLAN KEYNOTES

BASE BID:

(1) REPAIR SPANDREL BEAM AND SURROUNDING SLAB PER 1/S301 3/S301.

PAINT NEW FABRICATIONS PER SPECIFICATION 07 92 00.

(2) APPLY WATERPROOF TRAFFIC RATED COATING TO SUSPENDED SLAB POUR STRIPS. REMOVE EXISTING ELASTOMERIC SEALANT AT JOINTS. PREPARE THE SURFACE AND THE JOINTS BETWEEN POST-TENSIONED SLAB AND POUR STRIP PER SPECIFICATION 07 18 16. COAT FULL LENGTH OF POUR STRIP AND 1'-0" BEYOND WIDTH OF POUR STRIP EITHER SIDE PER MANUFACTURER INSTRUCTIONS. RESTRIPE PARKING STALLS AND TRAFFIC PATTERN INDICATORS AFFECTED BY REPAIR. CLEAN RUST STAINING ON UNDERSIDE OF SLAB AT POUR STRIP JOINTS. BASIS OF DESIGN IS SIKALASTIC-720 ONE SHOT.

(3) SEAL CRACKS ON THE TRAFFIC SURFACE OF THE SLAB WITH HIGH MODULUS, LOW VISCOSITY EPOXY CRACK INJECTION. PREPARE CRACK AND APPLY EPOXY PER MANUFACTURER INSTRUCTIONS. CLEAN RUST STAINING FROM THE UNDERSIDE OF THE SLAB. BASIS OF DESIGN IS SIKADUR-35 HI-MOD LV (CRACK REPAIR) AND SIKADUR-31 HI-MOD GEL (PORT AND CRACK SEALER). LENGTH OF CRACKS TO BE SEALED: 300 FT

(4) REPAIR CRACKS IN FACE AND JOINTS OF INTERIOR CMU WALLS:
- A. REPOINT CRACKED MORTAR JOINTS PER 5/S301

  LENGTH OF JOINT TO BE REPOINTED: 80 FT
- B. CMU CRACK REPAIR
  1. HAIRLINE CRACKS LESS THAN 1/32" IN SPLIT FACE BLOCK AND BURNISHED CMU NEED NOT BE REPAIRED
  2. SPLIT FACE CMU CRACKING 1/32" TO 1/4": SIKAFLEX-15 LM
  3. BURNISHED CMU CRACKING
     - A. NARROW (1/32" TO 1/16"): CLEAR POLYURETHANE SEALANT
     - B. WIDE (1/16" TO 1/4"): SIKAFLEX-15 LM
  4. LF OF SPLIT FACE CRACKING: 45 FT
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     LF OF WIDE BURNISHED CMU CRACKING: 5 FT

(5) REINFORCE CMU AT CRACKED WALL CORNERS WITH HELICAL MASONRY TIE BENT TO MATCH CORNER ANGLE AND EMBEDDED INTO MORTAR JOINT PER 6/S301

LENGTH OF MASONRY TIE REINFORCING: 45 FT

(6) REMOVE BROKEN CMU FACE SHELL AND RECAST WITH COLOR MATCHED MORTAR

(7) REMOVE SPALLED CONCRETE AROUND HSS CONNECTION TO SOUND MATERIAL. COAT PREPARED CONCRETE SURFACE AND EXISTING ANCHOR WITH BONDING PRIMER OR SCRUB COAT OF REPAIR MORTAR, AS REQUIRED BY MANUFACTURER. REPAIR CONCRETE WITH NON-EPOXY BASED REPAIR MORTAR. PRODUCTS USED SHALL BE RATED FOR OVERHEAD APPLICATIONS. APPLY PER MANUFACTURER'S INSTRUCTIONS. BASIS OF DESIGN IS SIKATOP-123 PLUS

(8) REPAIR CONTROL JOINTS PER 4/S301

TOTAL NUMBER OF DIAMOND-SHAPED SPALLS TO BE REPAIRED: 100 SPALLS
TOTAL LENGTH OF CONTROL JOINTS TO BE REPAIRED: 330 FT

(9) REPLACE (E) EXPANSION JOINT SEALANT WITH SIKAFLEX-1C SL OR APPROVED EQUAL, FULL LENGTH OF JOINT

ALTERNATE #1:

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(A2) REPOINT CRACKED MORTAR JOINTS IN EXTERIOR CMU WALLS PER 5/S301

LENGTH OF JOINT TO BE REPOINTED: 500 FT

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2ND FLOOR REPAIR PLAN

S102

GENERAL NOTES

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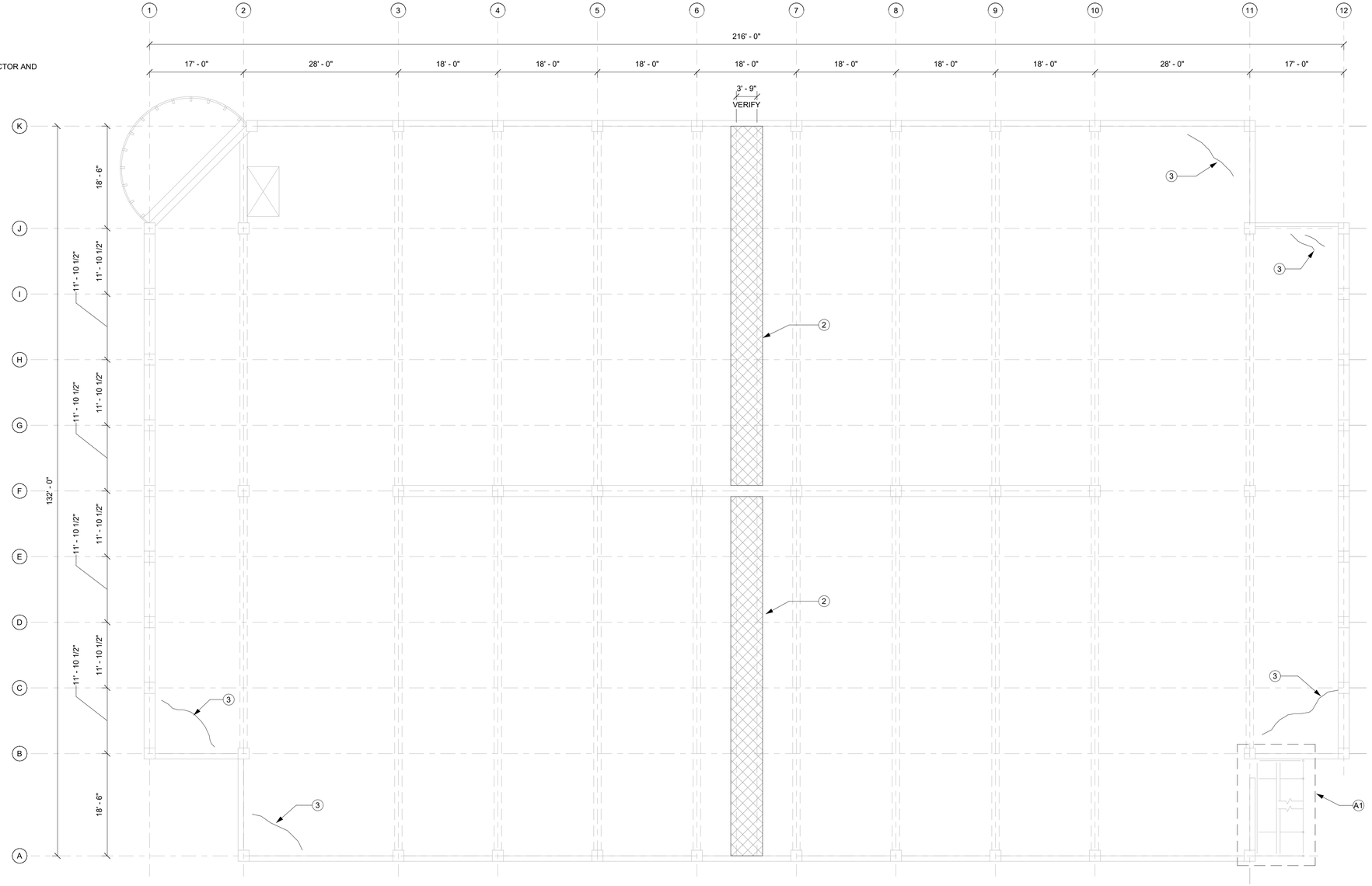

1 / S103 3RD FLOOR REPAIR PLAN
3/32" = 1'-0"

REPAIR PLAN KEYNOTES

BASE BID:

(1) REPAIR SPANDREL BEAM AND SURROUNDING SLAB PER 1/S301 3/S301.

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LENGTH OF JOINT TO BE REPOINTED: 500 FT

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3RD FLOOR REPAIR PLAN

S103

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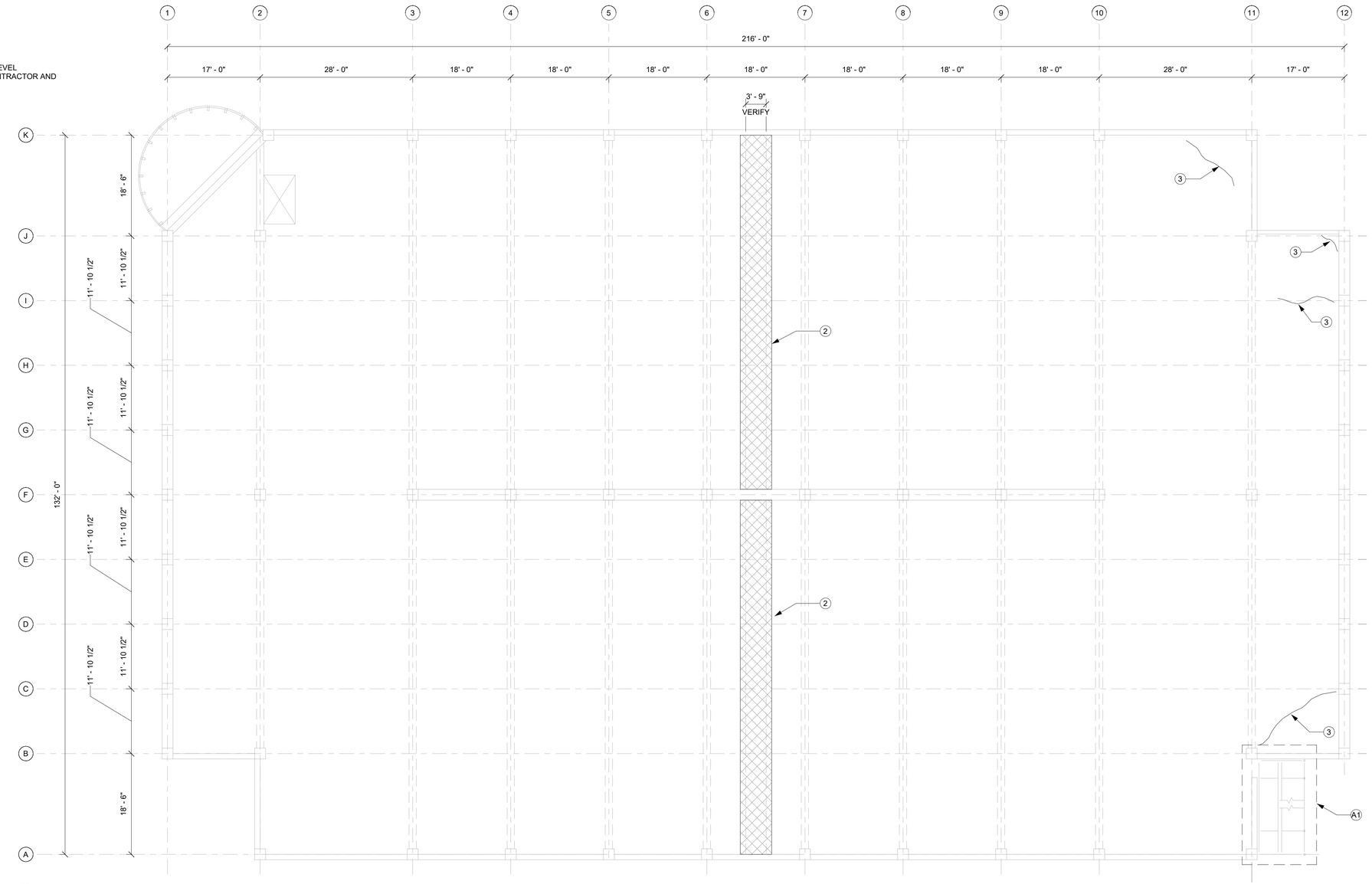

1 / S104 4TH FLOOR REPAIR PLAN
3/32" = 1'-0"

REPAIR PLAN KEYNOTES

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A. REPOINT CRACKED MORTAR JOINTS PER 5/S301

LENGTH OF JOINT TO BE REPOINTED: 80 FT

B. CMU CRACK REPAIR
1. HAIRLINE CRACKS LESS THAN 1/32" IN SPLIT FACE BLOCK AND BURNISHED CMU NEED NOT BE REPAIRED
2. SPLIT FACE CMU CRACKING 1/32" TO 1/4": SIKAFLEX-15 LM
3. BURNISHED CMU CRACKING
   A. NARROW (1/32" TO 1/16"): CLEAR POLYURETHANE SEALANT
   B. WIDE (1/16" TO 1/4"): SIKAFLEX-15 LM
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LENGTH OF MASONRY TIE REINFORCING: 45 FT

(6) REMOVE BROKEN CMU FACE SHELL AND RECAST WITH COLOR MATCHED MORTAR

(7) REMOVE SPALLED CONCRETE AROUND HSS CONNECTION TO SOUND MATERIAL. COAT PREPARED CONCRETE SURFACE AND EXISTING ANCHOR WITH BONDING PRIMER OR SCRUB COAT OF REPAIR MORTAR, AS REQUIRED BY MANUFACTURER. REPAIR CONCRETE WITH NON-EPOXY BASED REPAIR MORTAR. PRODUCTS USED SHALL BE RATED FOR OVERHEAD APPLICATIONS. APPLY PER MANUFACTURER'S INSTRUCTIONS. BASIS OF DESIGN IS SIKATOP-123 PLUS

(8) REPAIR CONTROL JOINTS PER 4/S301

TOTAL NUMBER OF DIAMOND-SHAPED SPALLS TO BE REPAIRED: 100 SPALLS
TOTAL LENGTH OF CONTROL JOINTS TO BE REPAIRED: 330 FT

(9) REPLACE (E) EXPANSION JOINT SEALANT WITH SIKAFLEX-1C SL OR APPROVED EQUAL, FULL LENGTH OF JOINT

ALTERNATE #1:

(A1) RECOAT STAIRWELL, ENCLOSURE AT GROUND LEVEL, AND SUPPORTING COLUMNS AS FOLLOWS:
A. STRIP FLAKING PAINT AND RECOAT ALL PAINTED STAIRWELL SURFACES PER SPECIFICATION 09 96 00.
B. ABRADE CORRODED GALVANIZED CONNECTIONS AND COMPONENTS. RECOAT PER SPECIFICATION 09 96 00.

ALTERNATE #2:

(A2) REPOINT CRACKED MORTAR JOINTS IN EXTERIOR CMU WALLS PER 5/S301

LENGTH OF JOINT TO BE REPOINTED: 500 FT

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STATE OF ALASKA 49 TH
Patrick S. Brandon
26-Feb-2021
SE 141370
REGISTERED STRUCTURAL ENGINEER

CITY OF FAIRBANKS PARKING GARAGE REPAIRS

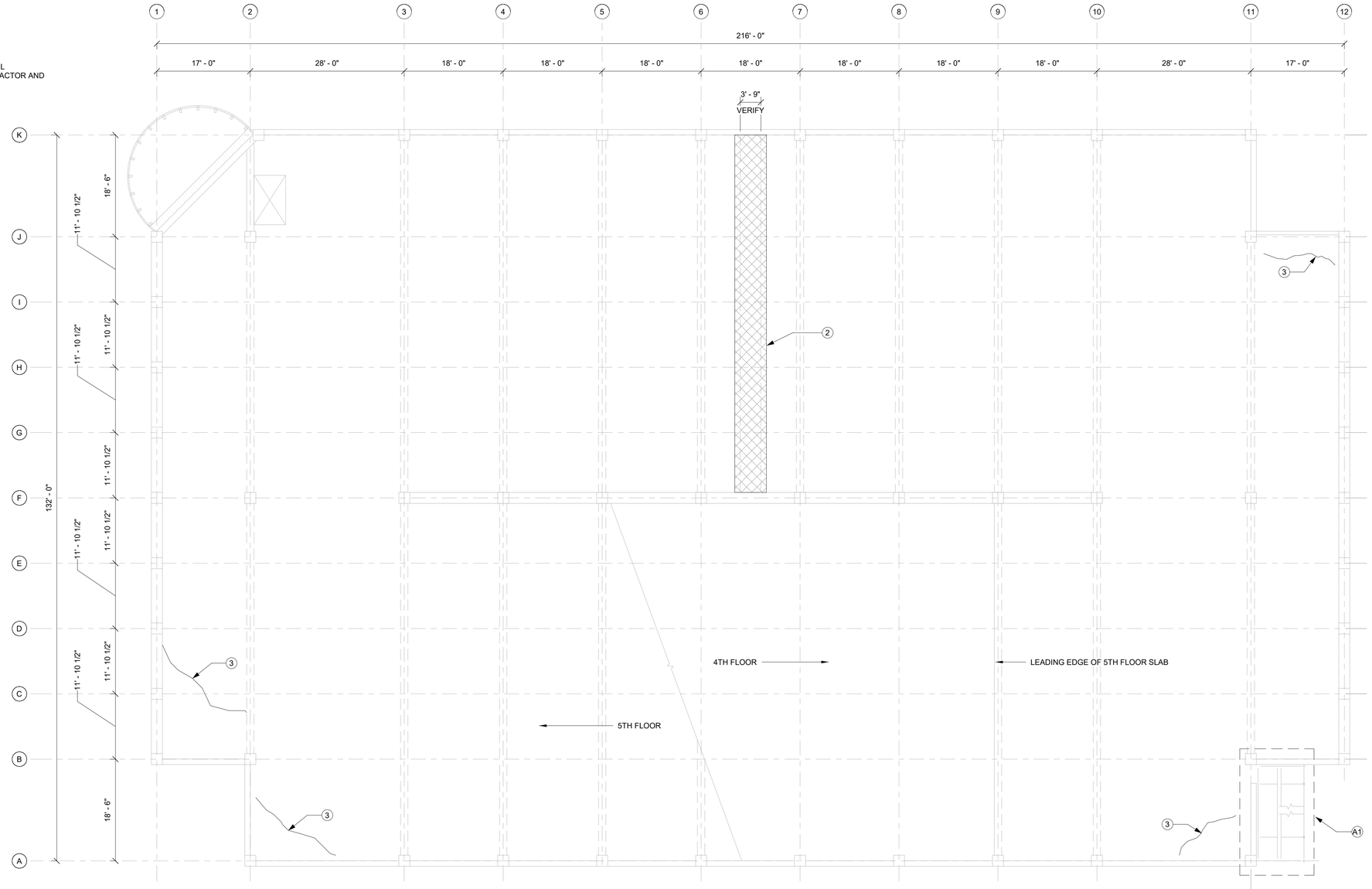
ISSUE DATE	26 FEB 2021
COMM. NUMBER	202001
DESIGNED BY	SMM
DRAWN BY	SMM
SCALE	0" 1"

4TH FLOOR REPAIR PLAN

S104

GENERAL NOTES

1. NOT ALL KEYNOTES APPLY TO WORK ON EACH LEVEL
2. QUANTITIES OF REPAIRS TO BE VERIFIED BY CONTRACTOR AND COR PRIOR TO STARTING WORK



1 / S105 5TH FLOOR REPAIR PLAN
3/32" = 1'-0"

REPAIR PLAN KEYNOTES

BASE BID:

1. REPAIR SPANDREL BEAM AND SURROUNDING SLAB PER 1/S301 3/S301.
   PAINT NEW FABRICATIONS PER SPECIFICATION 07 92 00.
2. APPLY WATERPROOF TRAFFIC RATED COATING TO SUSPENDED SLAB POUR STRIPS. REMOVE EXISTING ELASTOMERIC SEALANT AT JOINTS. PREPARE THE SURFACE AND THE JOINTS BETWEEN POST-TENSIONED SLAB AND POUR STRIP PER SPECIFICATION 07 18 16. COAT FULL LENGTH OF POUR STRIP AND 1'-0" BEYOND WIDTH OF POUR STRIP EITHER SIDE PER MANUFACTURER INSTRUCTIONS. RESTRIPE PARKING STALLS AND TRAFFIC PATTERN INDICATORS AFFECTED BY REPAIR. CLEAN RUST STAINING ON UNDERSIDE OF SLAB AT POUR STRIP JOINTS. BASIS OF DESIGN IS SIKALASTIC-720 ONE SHOT.
3. SEAL CRACKS ON THE TRAFFIC SURFACE OF THE SLAB WITH HIGH MODULUS, LOW VISCOSITY EPOXY CRACK INJECTION. PREPARE CRACK AND APPLY EPOXY PER MANUFACTURER INSTRUCTIONS. CLEAN RUST STAINING FROM THE UNDERSIDE OF THE SLAB. BASIS OF DESIGN IS SIKADUR-35 HI-MOD LV (CRACK REPAIR) AND SIKADUR-31 HI-MOD GEL (PORT AND CRACK SEALER). LENGTH OF CRACKS TO BE SEALED: 300 FT
4. REPAIR CRACKS IN FACE AND JOINTS OF INTERIOR CMU WALLS:
   A. REPOINT CRACKED MORTAR JOINTS PER 5/S301
      LENGTH OF JOINT TO BE REPOINTED: 80 FT
   B. CMU CRACK REPAIR
      1. HAIRLINE CRACKS LESS THAN 1/32" IN SPLIT FACE BLOCK AND BURNISHED CMU NEED NOT BE REPAIRED
      2. SPLIT FACE CMU CRACKING 1/32" TO 1/4": SIKAFLEX-15 LM
      3. BURNISHED CMU CRACKING
         A. NARROW (1/32" TO 1/16"): CLEAR POLYURETHANE SEALANT
         B. WIDE (1/16" TO 1/4"): SIKAFLEX-15 LM
      4. LF OF SPLIT FACE CRACKING: 45 FT
         LF OF NARROW BURNISHED CMU CRACKING: 10 FT
         LF OF WIDE BURNISHED CMU CRACKING: 5 FT
5. REINFORCE CMU AT CRACKED WALL CORNERS WITH HELICAL MASONRY TIE BENT TO MATCH CORNER ANGLE AND EMBEDDED INTO MORTAR JOINT PER 6/S301
   LENGTH OF MASONRY TIE REINFORCING: 45 FT
6. REMOVE BROKEN CMU FACE SHELL AND RECAST WITH COLOR MATCHED MORTAR
7. REMOVE SPALLED CONCRETE AROUND HSS CONNECTION TO SOUND MATERIAL. COAT PREPARED CONCRETE SURFACE AND EXISTING ANCHOR WITH BONDING PRIMER OR SCRUB COAT OF REPAIR MORTAR, AS REQUIRED BY MANUFACTURER. REPAIR CONCRETE WITH NON-EPOXY BASED REPAIR MORTAR. PRODUCTS USED SHALL BE RATED FOR OVERHEAD APPLICATIONS. APPLY PER MANUFACTURER'S INSTRUCTIONS. BASIS OF DESIGN IS SIKATOP-123 PLUS
8. REPAIR CONTROL JOINTS PER 4/S301
   TOTAL NUMBER OF DIAMOND-SHAPED SPALLS TO BE REPAIRED: 100 SPALLS
   TOTAL LENGTH OF CONTROL JOINTS TO BE REPAIRED: 330 FT
9. REPLACE (E) EXPANSION JOINT SEALANT WITH SIKAFLEX-1C SL OR APPROVED EQUAL, FULL LENGTH OF JOINT

ALTERNATE #1:

A1. RECOAT STAIRWELL, ENCLOSURE AT GROUND LEVEL, AND SUPPORTING COLUMNS AS FOLLOWS:
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   B. ABRADE CORRODED GALVANIZED CONNECTIONS AND COMPONENTS. RECOAT PER SPECIFICATION 09 96 00.

ALTERNATE #2:

A2. REPOINT CRACKED MORTAR JOINTS IN EXTERIOR CMU WALLS PER 5/S301
   LENGTH OF JOINT TO BE REPOINTED: 500 FT

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5TH FLOOR REPAIR PLAN

S105

1.A S201 REPAIR 1 - SPANDREL BEAM CRACKING (ABOVE)
1" = 1'-0"

1.B S201 REPAIR 1 - SPANDREL BEAM CRACKING (BELOW)
1" = 1'-0"

1.C S201 REPAIR 1 - VEHICLE BARRIER
1" = 1'-0"

2 S201 REPAIR 2 - POUR STRIP SEALING
1" = 1'-0"

3.A S201 REPAIR 3 - POST TENSIONED SLAB CRACKING
1" = 1'-0"

3.B S201 REPAIR 3 - POST TENSION SLAB CRACKING (TOP)
1" = 1'-0"

4.A S201 REPAIR 4 - CMU CRACKING (FACE)
1" = 1'-0"

4.B S201 REPAIR 4 - CMU CRACKING (JOINT AND FACE)
1" = 1'-0"

5 S201 REPAIR 5 - CMU CRACKING (CORNER)
1" = 1'-0"

6 S201 REPAIR 6 - CRACKED CMU FACE SHELL
1" = 1'-0"

7 S201 REPAIR 7 - SPALLING AT HSS ANCHOR
1" = 1'-0"

8 S201 REPAIR 8 - DIAMOND SPALLING OF SLAB
1" = 1'-0"

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CITY OF FAIRBANKS
PARKING GARAGE REPAIRS

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PARKING GARAGE EXISTING CONDITIONS

S201

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A1.A S202 ALTERNATE #1 - REPAIR A1 EXTERIOR OF STAIRWELL
1" = 1'-0"

A1.B S202 ALTERNATE #1 - REPAIR A1 - STAIR CORROSION
1" = 1'-0"

A1.C S202 ALTERNATE #1 - REPAIR A1 - LANDING CORROSION
1" = 1'-0"

A2 S202 ALTERNATE #2 - REPAIR A2 - CRACKED MORTAR JOINTS AT EXTERIOR CMU FACE
1" = 1'-0"

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ADDITIVE ALTERNATES - PARKING GARAGE EXISTING CONDITIONS

S202

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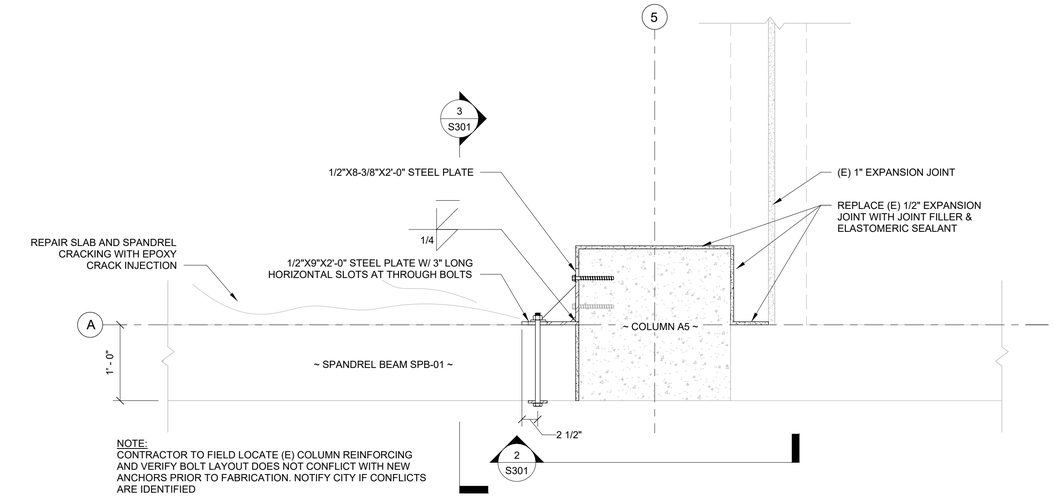
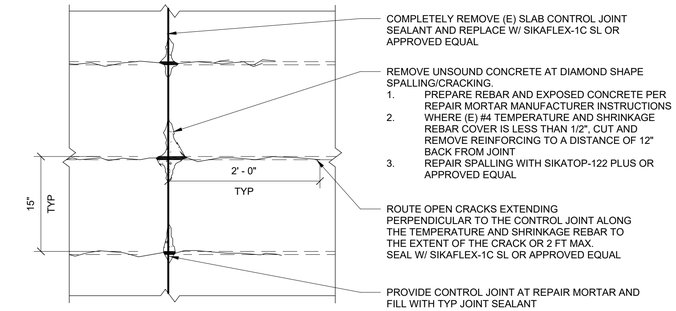
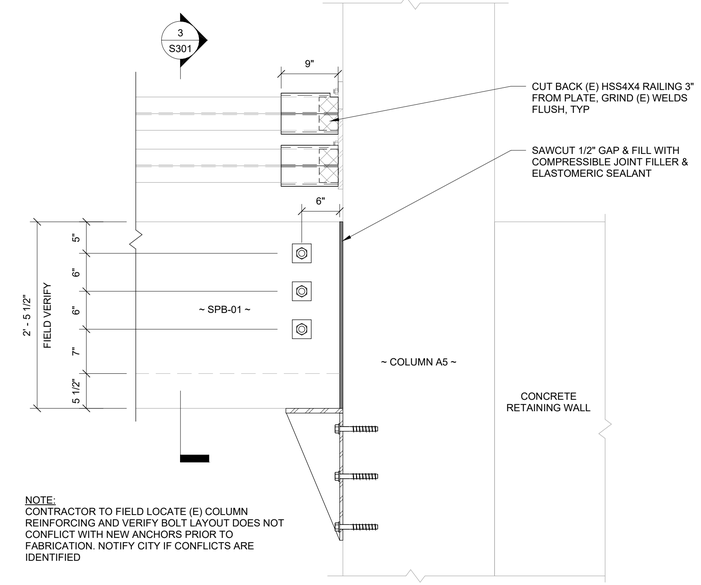


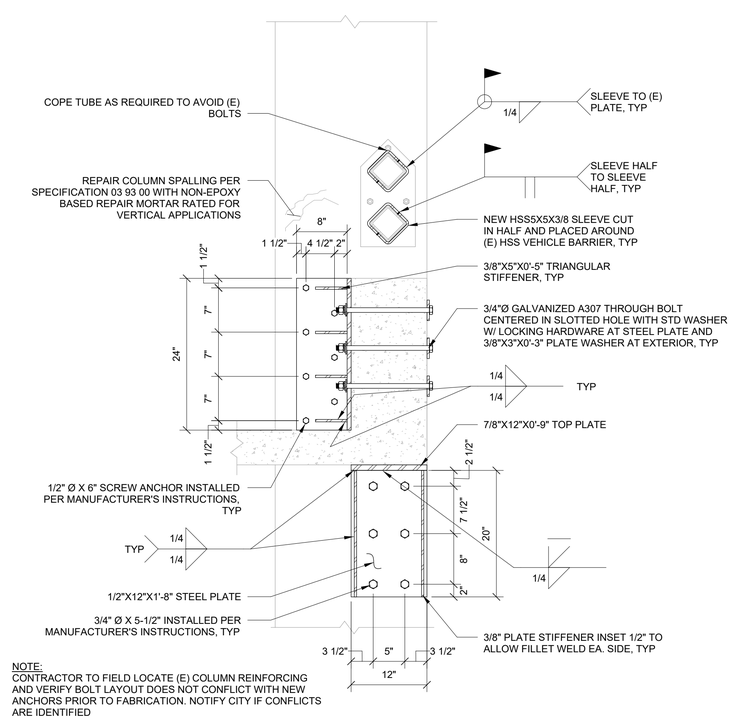
1 S301 SPANDREL REPAIR AT A-5
1" = 1'-0"



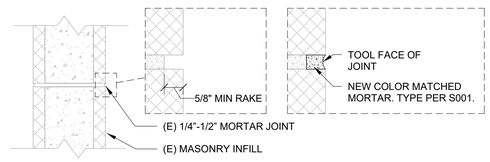
4 S301 CONTROL JOINT REPAIR
1" = 1'-0"



2 S301 SPANDREL REPAIR - ELEVATION
1" = 1'-0"



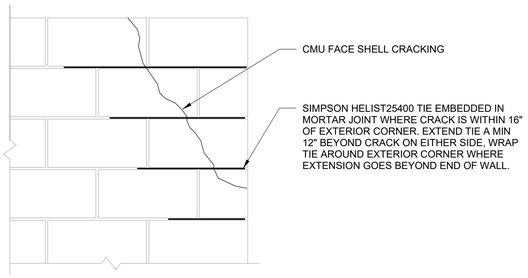
3 S301 SPANDREL REPAIR - SECTION
1" = 1'-0"



NOTES:

1. RAKE OUT EXISTING MORTAR USING NON-IMPACT TOOLS ONLY. WASH AND DAMPEN JOINTS PRIOR TO PLACING MORTAR.
2. MASONRY BED JOINT SHOWN. VERTICAL JOINTS ARE SIMILAR

5 S301 MASONRY REPOINTING
1 1/2" = 1'-0"



6 S301 MASONRY JOINT REINFORCING
1" = 1'-0"

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REPAIR DETAILS

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